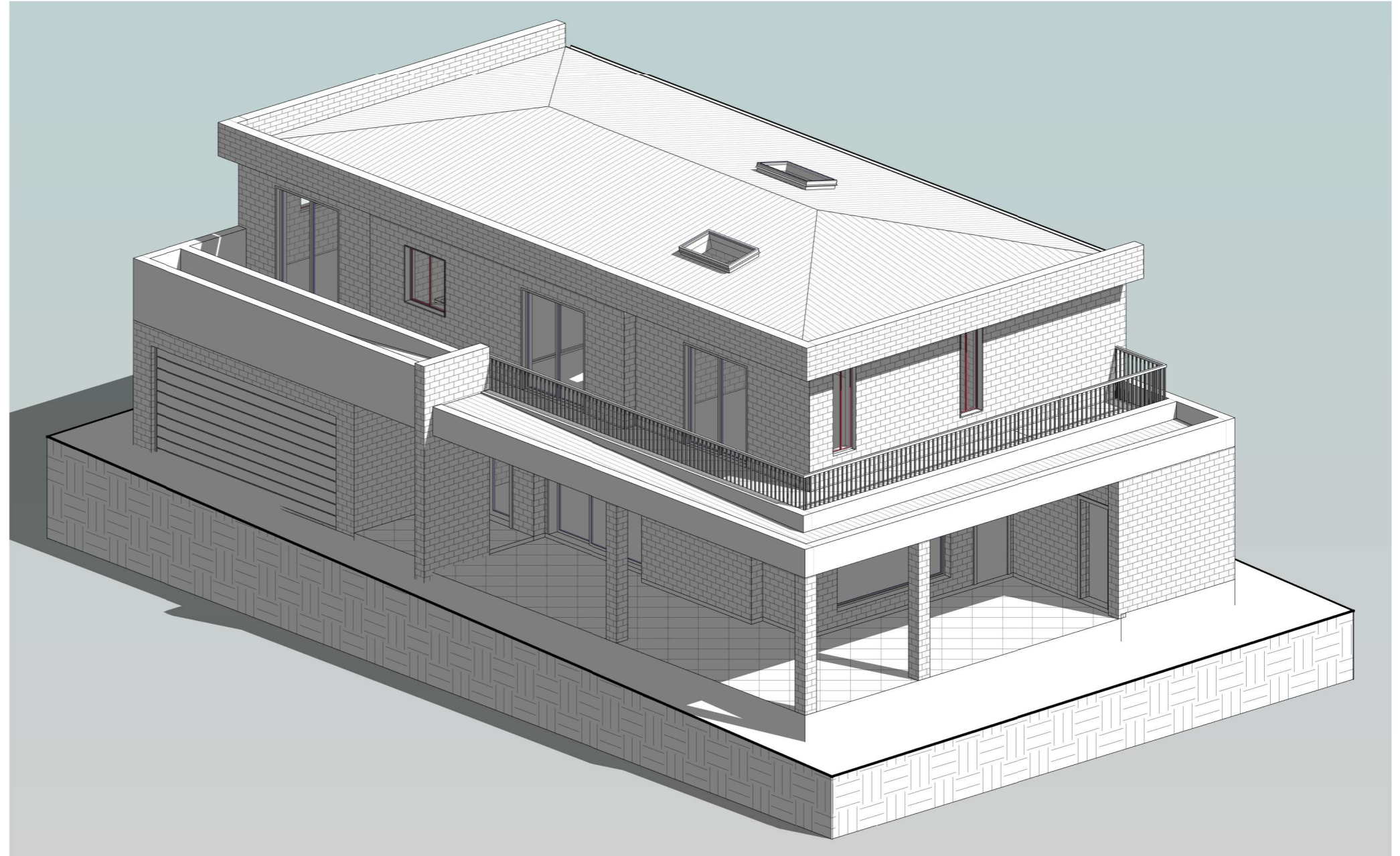


PROPOSED TWO STOREY DWELLING AT 74 SIMMAT AVENUE, CONDELL PARK

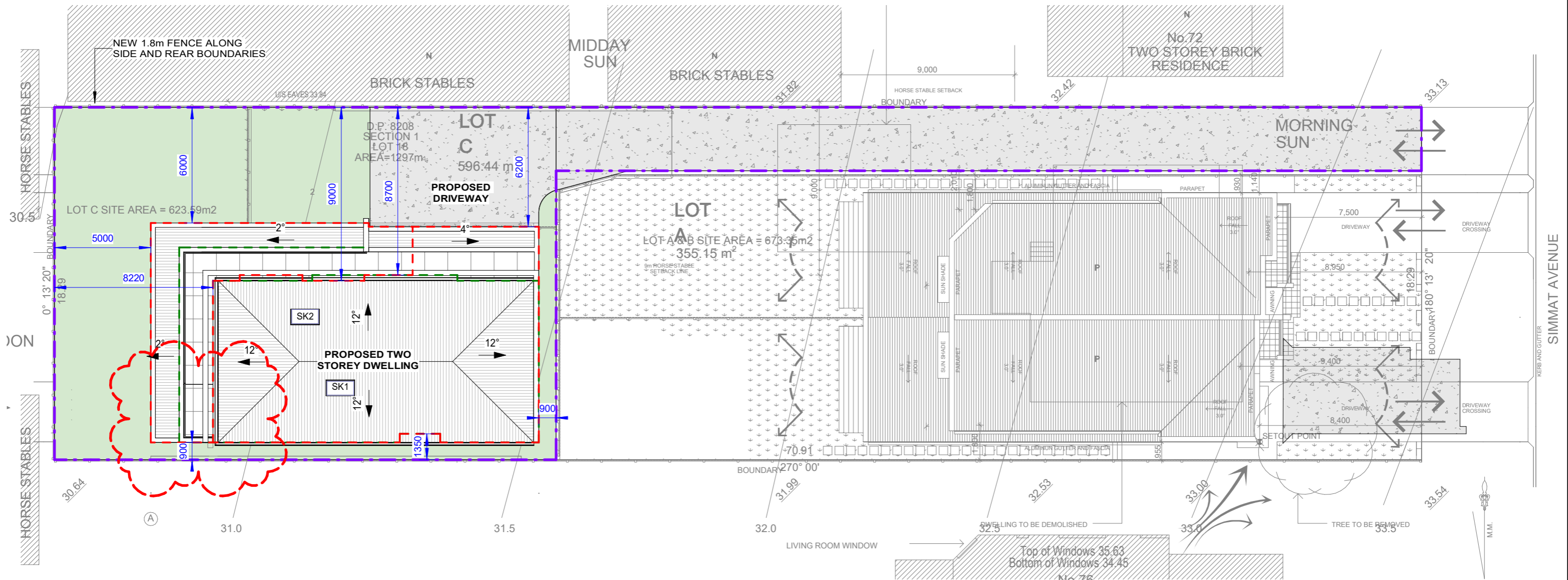
DRAWING LIST

Sheet Number	Sheet Name
A00	COVER SHEET
A01.01	SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN
A01.02	WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN
A01.03	SITE CALCULATIONS
A02	PROPOSED GROUND FLOOR PLAN
A03	PROPOSED FIRST FLOOR PLAN
A04	ELEVATIONS - PART 1
A05	ELEVATIONS - PART 2
A06	WINDOWS & DOOR SCHEDULE



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A	19.12.2023	ISSUED FOR \$4.55		MT				DESIGNED BY: A.N.	DATE: 19.12.2023	
REV	DATE	DESCRIPTION		BY		STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN	COVER SHEET	DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN
1:200

LEGEND:

- SITE BOUNDARY
- PROPOSED GROUND FLOOR OUTLINE
- PROPOSED FIRST FLOOR OUTLINE

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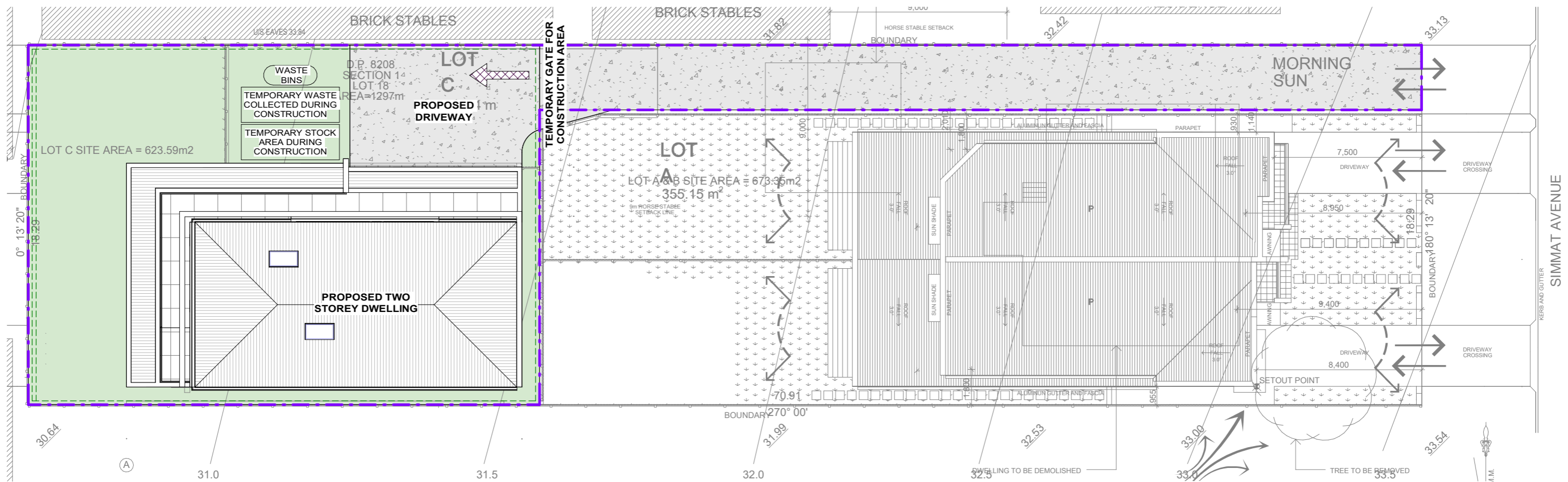
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PROPOSED TWO STOREY DWELLING
74 SIMMAT AVE, CONDELL PARK
LOT 18, DP 8208
SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

JOB NUMBER: 23572	DWG NUMBER: A01.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 19.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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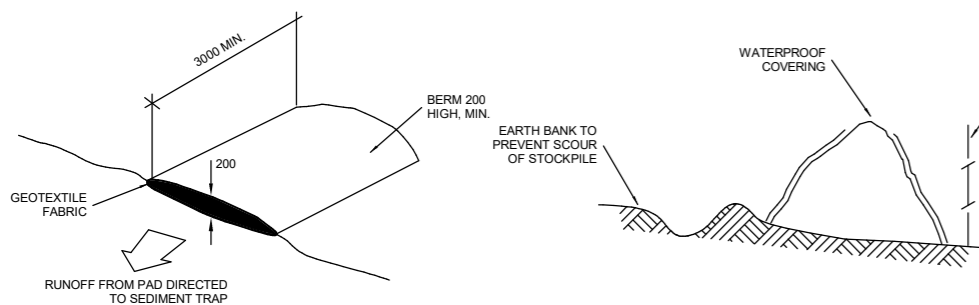


WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN

1 1 : 200

LEGEND:

- SITE BOUNDARY
- SEDIMENT CONTROL FENCE
- TEMPORARY FENCE

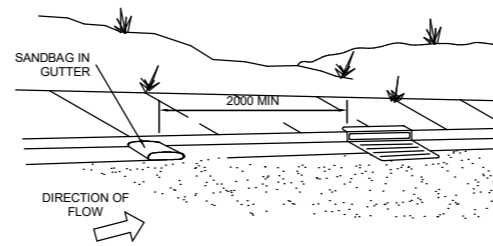


VEHICLE ACCESS TO SITE

NTS
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.

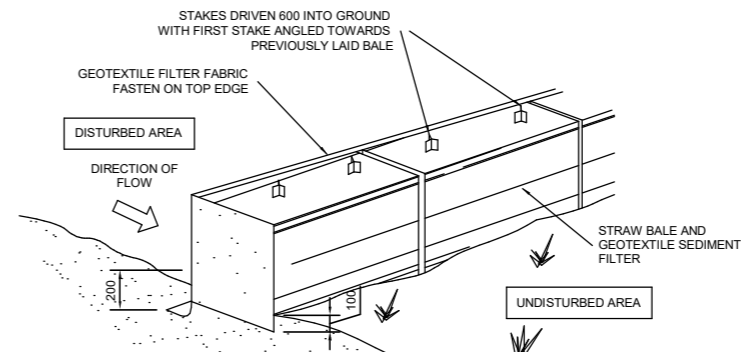
BUILDING MATERIAL STOCKPILES

NTS
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION. THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



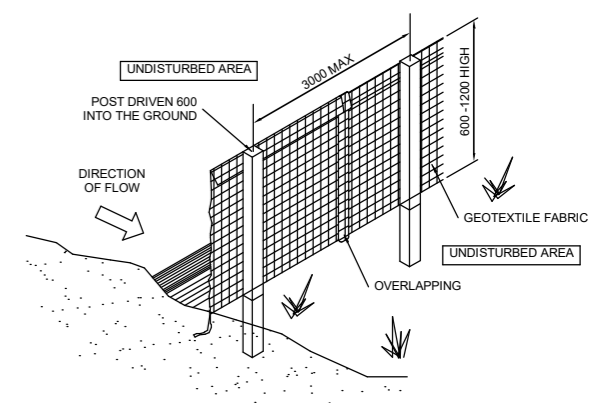
SANDBAG KERB SEDIMENT TRAP

NTS
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



STRAW BALE DETAIL

NTS



SEDIMENT AND EROSION FENCE DETAIL

NTS

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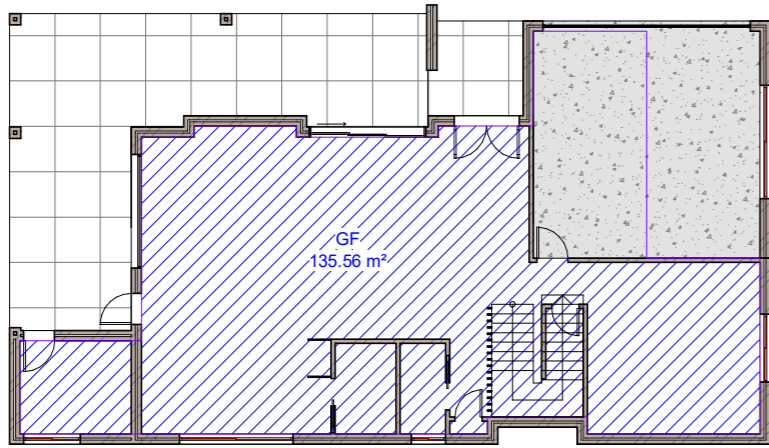
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PROPOSED TWO STOREY DWELLING
74 SIMMAT AVE, CONDELL PARK
LOT 18, DP 8208
**WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION
CONTROL PLAN**

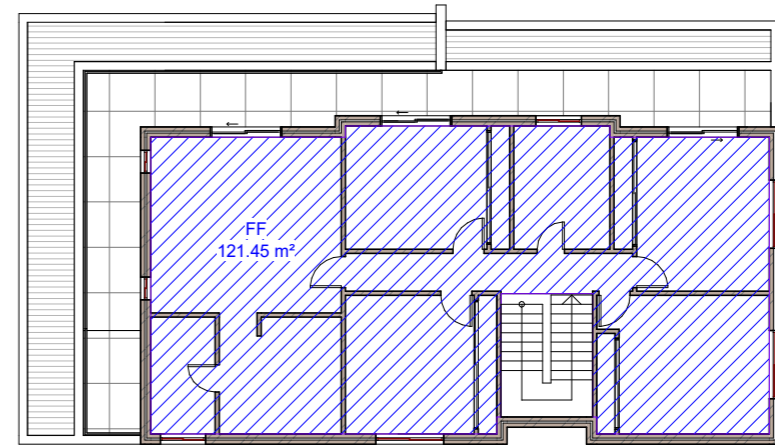
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DESIGNED BY: A.N.	DATE: 19.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	



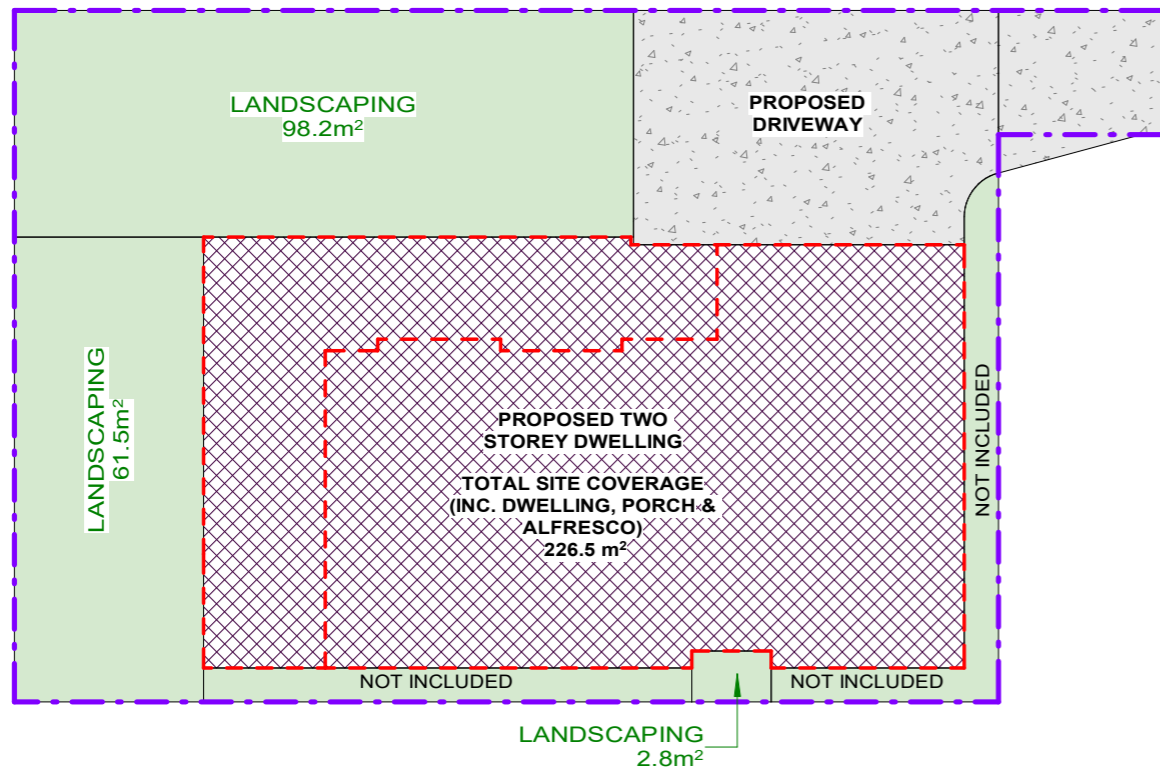
19/12/2023 7:03:51 am



1 FSR - Ground Floor
1 : 200



2 FSR - First Floor
1 : 200



3 LANDSCAPING
1 : 200

SITE CALCULATIONS	
FLOOR AREA CALCULATIONS	
SITE AREA:	1297.0m ²
AREA OF THE PROPOSED GROUND FLOOR:	135.6m ²
AREA OF THE PROPOSED FIRST FLOOR:	121.5m ²
MAX. TOTAL FLOOR AREA	474.3m ²
25% OF LOT AREA + 150m ² = 0.25 x 1297.0m ² + 150m ²	
PROPOSED TOTAL FLOOR AREA:	257.1m ² < 474.3m ²
SITE COVERAGE CALCULATIONS	
PROPOSED SITE COVERAGE: (INC. DWELLING, PORCH & ALFRESCO)	226.5m ² (17.5%)
LANDSCAPING CALCULATIONS	
MIN. LANDSC. FORWARD OF BUILDING LINE: 25% OF THE AREA OF THE LOT FORWARD OF THE BUILDING LINE= 0.25 x 156.1m ²	39.0m ²
PROPOSED LANDSCAPING AT FRONT:	98.2m ² > 39.0m ²
PROPOSED LANDSCAPING AT REAR: 50% OF MIN. TOTAL LANDSC. AREA= 0.50 x 389.1m ² = 26.9m ²	64.3m ² > 194.6m ²
MIN. TOTAL LANDSC. AREA: 30% OF THE SITE AREA = 0.30 x 1297.0m ²	389.1m ²
PROPOSED TOTAL LANDSCAPING AREA:	162.5m ² < 389.1m ²

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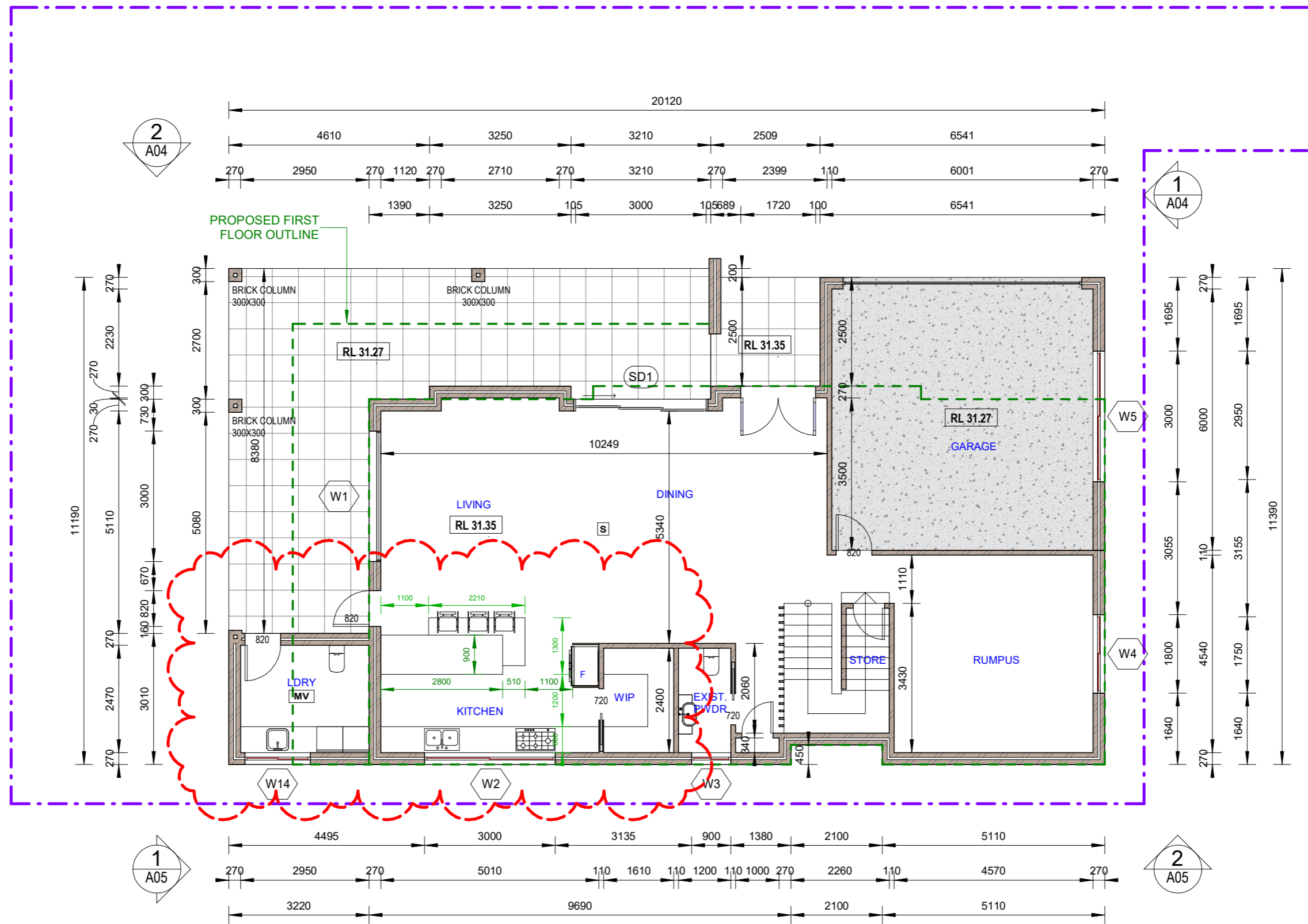
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PROPOSED TWO STOREY DWELLING	
74 SIMMAT AVE, CONDELL PARK LOT 18, DP 8208	
SITE CALCULATIONS	

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DESIGNED BY: A.N.	DATE: 19.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	





PROPOSED GROUND FLOOR PLAN

1

1 : 100

[S] SMOKE ALARM SYSTEM

[MV] MECHANICAL VENTILATION

- - - PROPOSED FIRST FLOOR OUTLINE

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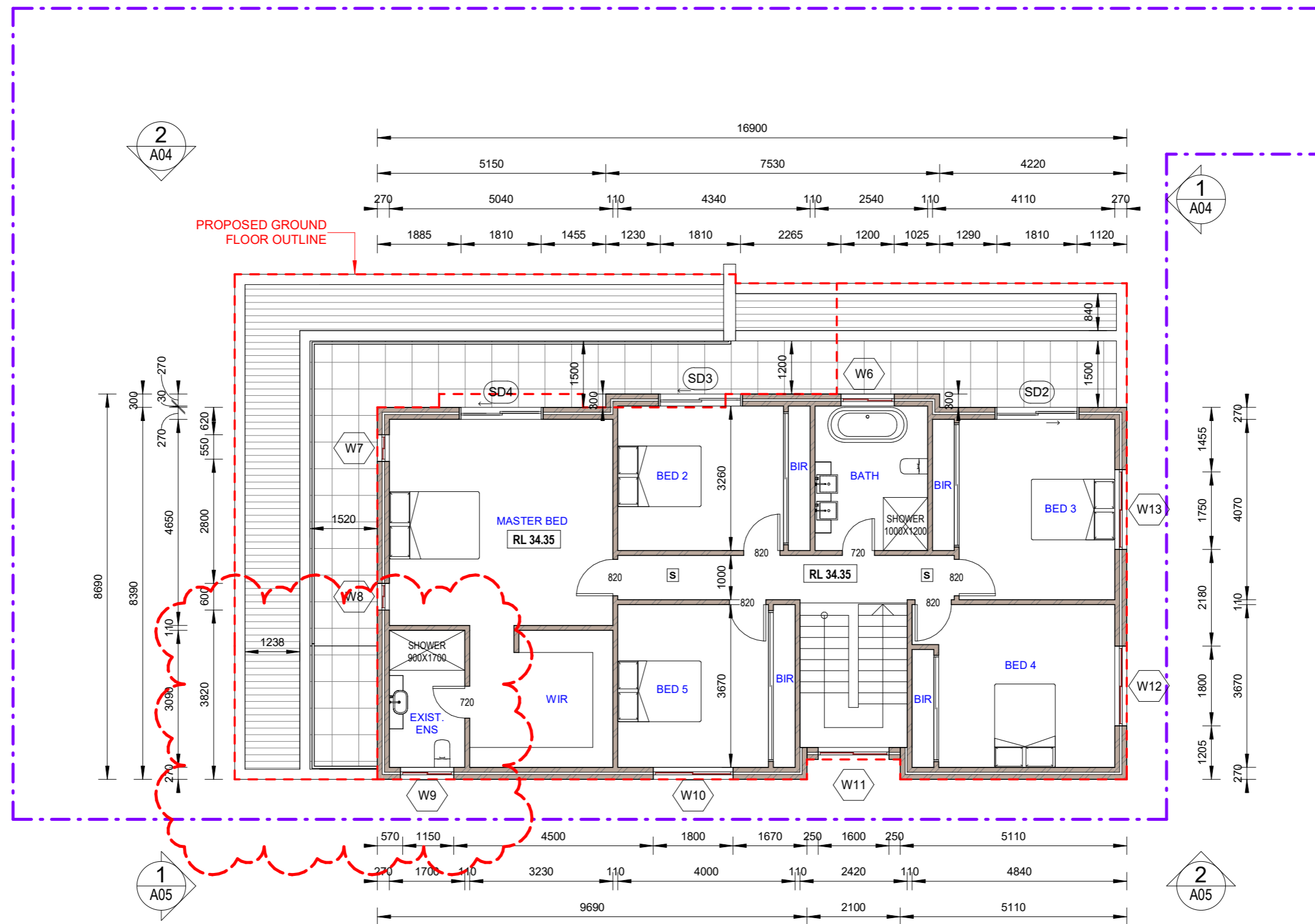
PROPOSED TWO STOREY DWELLING
74 SIMMAT AVE, CONDELL PARK
LOT 18, DP 8208

PROPOSED GROUND FLOOR PLAN

JOB NUMBER: 23572	DWG NUMBER: A02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 19.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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19/12/2023 7:03:53 am



1 PROPOSED FIRST FLOOR PLAN
1 : 100

- [S] SMOKE ALARM SYSTEM
[MV] MECHANICAL VENTILATION
- - - GROUND FLOOR OUTLINE

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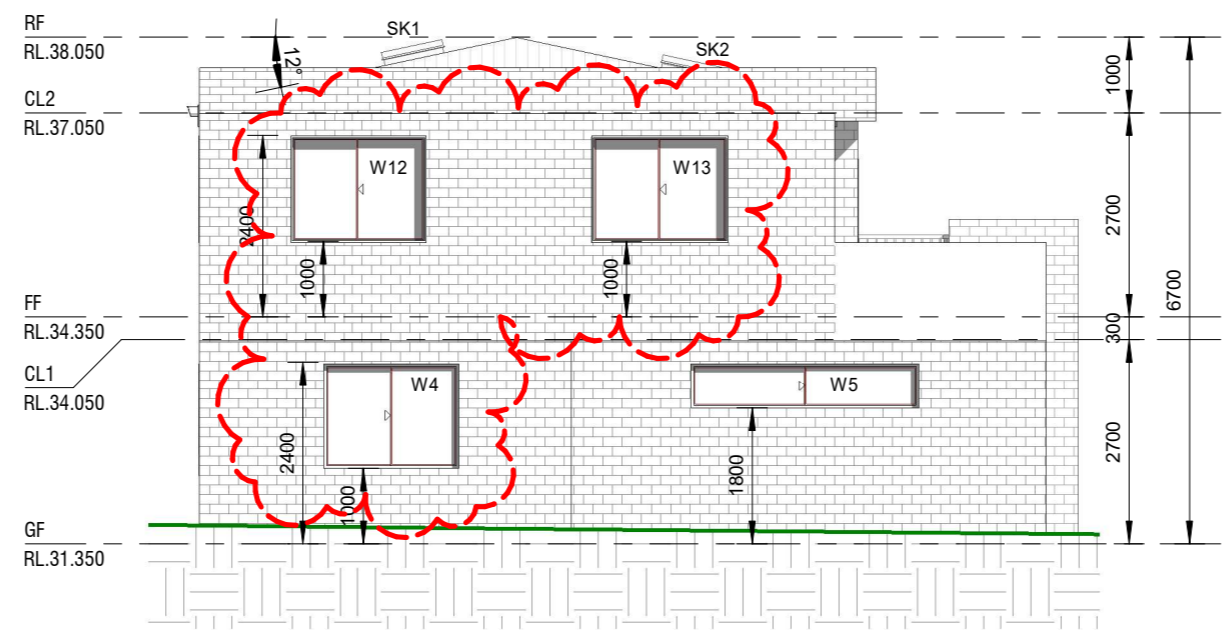
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PROPOSED TWO STOREY DWELLING
74 SIMMAT AVE, CONDELL PARK
LOT 18, DP 8208
PROPOSED FIRST FLOOR PLAN

JOB NUMBER: 23572	DWG NUMBER: A03	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 19.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 NORTH EAST ELEVATION
1 : 100

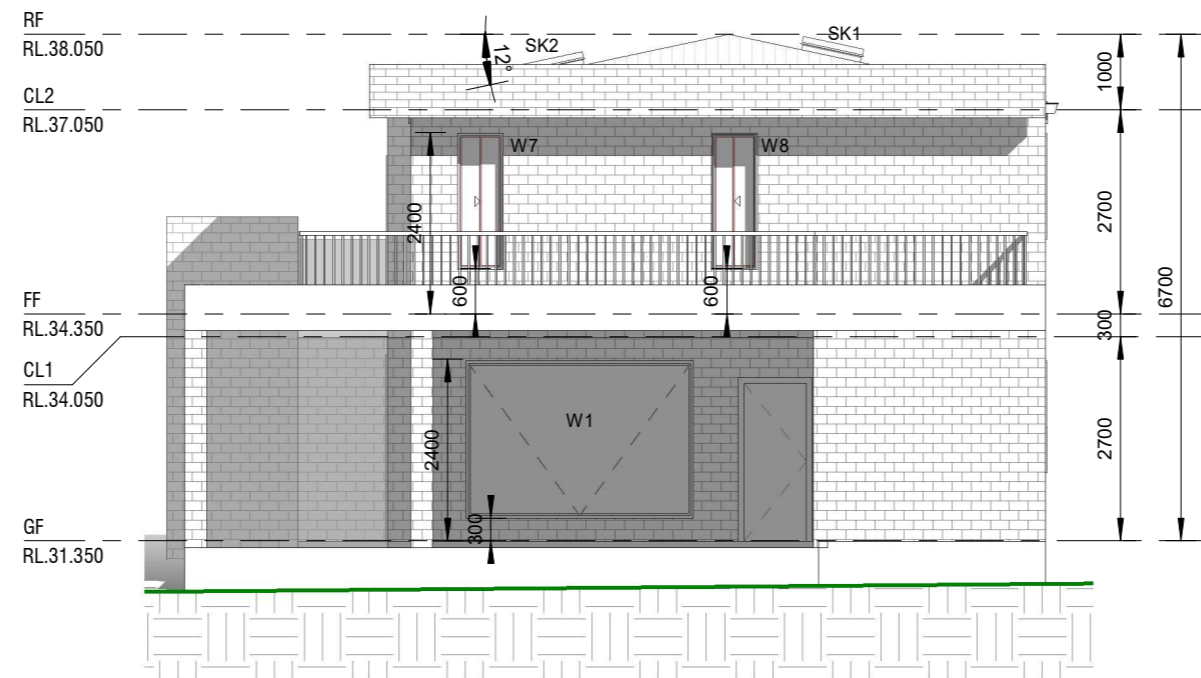


2 NORTH WEST ELEVATION
1 : 100

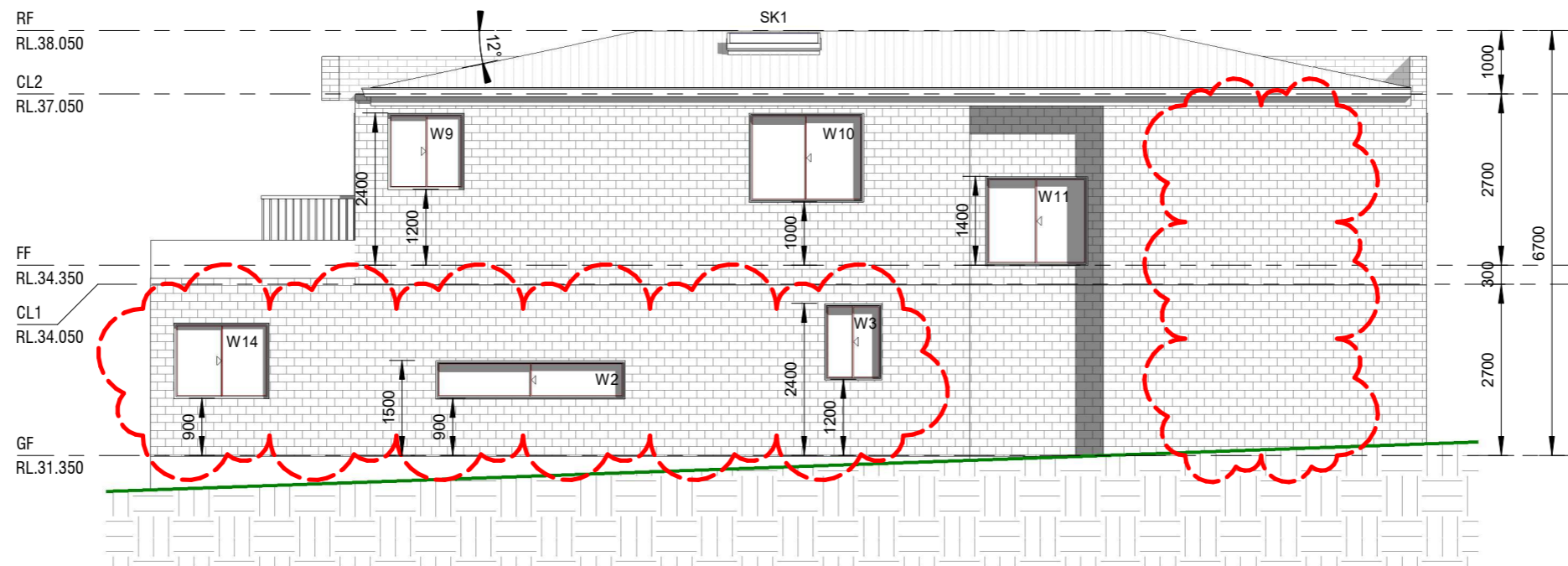
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								DESIGNED BY: A.N.	DATE: 19.12.2023	
								DRAWN BY: A.N.	SCALE: AS SHOWN	
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1 SOUTH WEST ELEVATION
1 : 100



2 SOUTH EAST ELEVATION
1 : 100

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PROPOSED TWO STOREY DWELLING
74 SIMMAT AVE, CONDELL PARK
LOT 18, DP 8208

ELEVATIONS - PART 2

JOB NUMBER: 23572	DWG NUMBER: A05	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 19.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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WINDOW SCHEDULE				
Mark	Height	Width	Area	Level
W1	2100	3000	6.30 m²	GF
W2	600	3000	1.80 m²	GF
W3	1200	900	1.08 m²	GF
W4	1400	1800	2.52 m²	GF
W5	600	3000	1.80 m²	GF
W6	1200	1200	1.44 m²	FF
W7	1800	600	1.08 m²	FF
W8	1800	600	1.08 m²	FF
W9	1200	1200	1.44 m²	FF
W10	1400	1800	2.52 m²	FF
W11	1400	1600	2.24 m²	FF
W12	1400	1800	2.52 m²	FF
W13	1400	1800	2.52 m²	FF
W14	1200	1500	1.80 m²	GF
Grand total: 14			30.14 m²	

GLASS DOOR SCHEDULE				
Mark	Height	Width	Area	Level
SD1	2400	3000	7.20 m²	GF
SD2	2100	1810	3.80 m²	FF
SD3	2100	1810	3.80 m²	FF
SD4	2100	1810	3.80 m²	FF
Grand total: 4			18.60 m²	

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